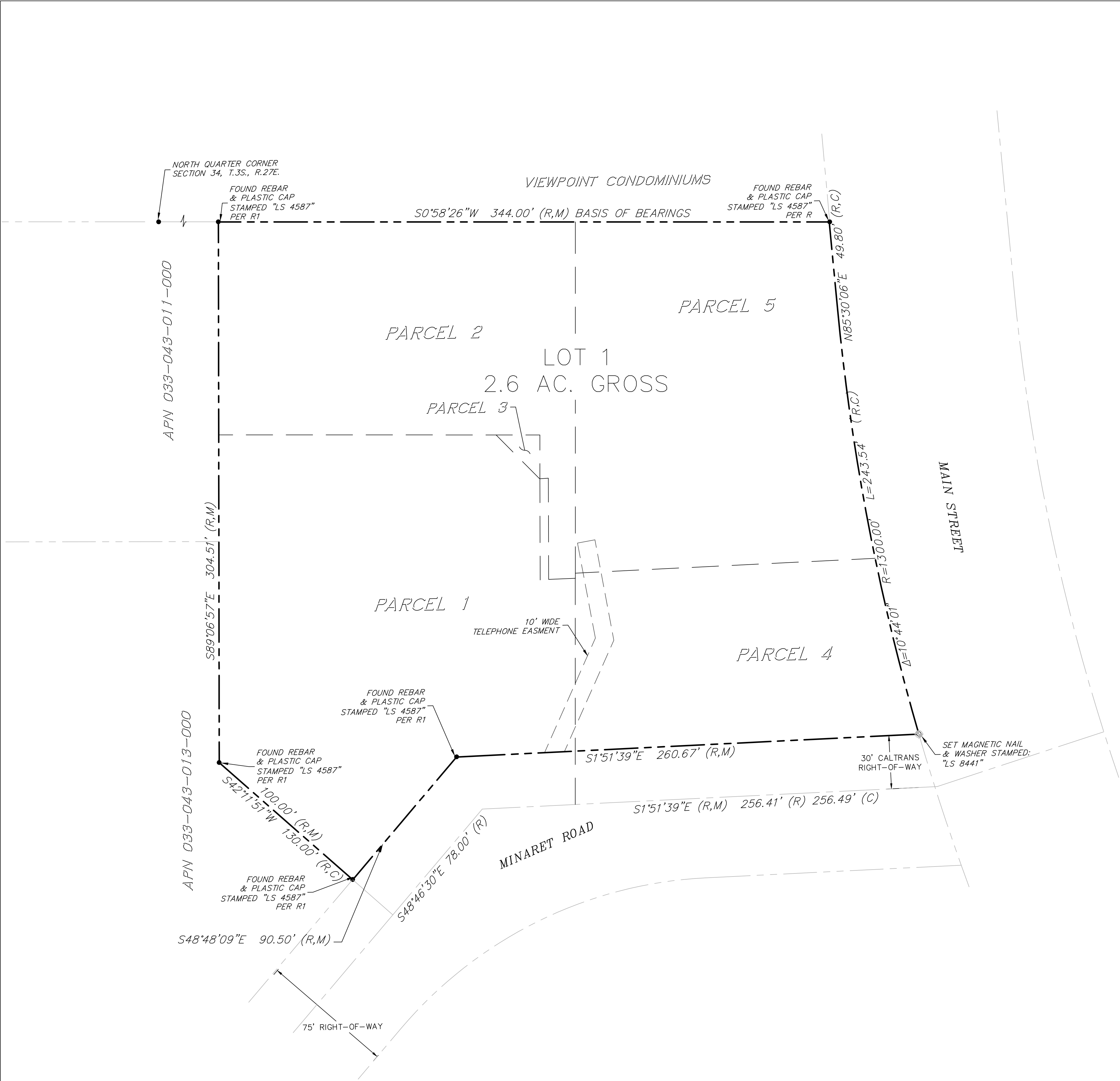


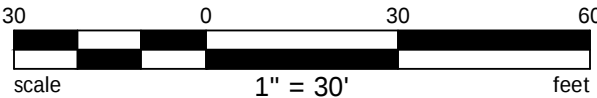


LEGEND

- PROPERTY LINE
- BOUNDARY OF PARCELS TO BE MERGED
- CENTERLINE
- ADJACENT PROPERTY LINE
- EASEMENT
- TEMPORARY BENCHMARK PER TOWN DATUM: MAGNETIC NAIL AND WASHER STAMPED: "LS 8441" AT SOUTHWEST CORNER ELEVATION = 8022.83

BOUNDARY NOTES

- REFER TO SEPARATE SIGNED ALTA LAND TITLE SURVEY PROVIDED BY TRIAD/HOLMES ASSOCIATES DATED 2018-05-16 (REV. 2018-08-23) FOR TITLE AND SURVEY INFORMATION THIS TENTATIVE TRACT MAP IS BASED UPON.
 - AREA: 2.60 ACRES
APN: 033-043-001, 033-043-002, 033-043-003
ADDRESS: 6042, 6040 AND 6060 MINARET ROAD MAMMOTH LAKES, CA
OWNER: 6060 MINARET LLC.
NUMBER OF UNITS: 120
 - THE PROPERTIES AS DESCRIBED IN GRANT DEED RECORDED AS INSTRUMENT NUMBERS 2002-005013 AND 2002-005014 IN THE OFFICE OF THE COUNTY RECORDER, MONO COUNTY, CALIFORNIA.
- (R)= RECORD INFORMATION PER RECORD OF SURVEY NO. 36-153, RSMB 4/28.
- (M)= MEASURED INFORMATION PER FIELD SURVEY APRIL 2018 BY TRIAD/ HOLMES ASSOC.



REVISIONS	DATE
R1	06.07.2023
R2	07.21.2023
R3	08.14.2023
R4	10.24.2023
R5-ZONING	11.13.2023
R6-ZONING	12.08.2023

OWNER:
6060 MINARET LLC.
1065 ASHBURY STREET
SAN FRANCISCO, CA 94117
E: POORVA.GARGI995@GMAIL.COM

ARCHITECT:
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CIVIL ENGINEERS
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GEOTECH:
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JOSEPH A. ADLER
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6060 MINARET RD
MAMMOTH LAKES,
CA 93546

SHEET TITLE:
**TENTATIVE TRACT
MAP NO.
FOR CONDOMINIUM
PURPOSES**

SET:	PLANNING PRE-APP
DATE:	04-14-2023
SCALE:	
DRAWN:	SSJNAI © 2023 STANLEY SAIOWITZ NATOMA ARCHITECTS INC.

SHEET NO:
C0.0



LEGEND

- PROPERTY LINE
- LOT LINE
- EDGE OF PAVEMENT
- EASEMENT
- W WATER LINE
- SS SANITARY SEWER LINE
- OVERHEAD UTILITIES
- FENCE LINE, WOOD POST, & IRON FENCING
- FENCE POST WITH SLEEVE
- WV WATER VALVE BOX
- UTILITY POLE
- GUY WIRE ANCHOR
- SEWER MANHOLE
- COMMUNICATION MH
- LIGHT STANDARD
- TBM TEMPORARY BENCHMARK PER TOWN DATUM: MAGNETIC NAIL AND WASHER STAMPED: "LS 8441" AT SOUTHWEST CORNER
- ELEVATION = 8022.83

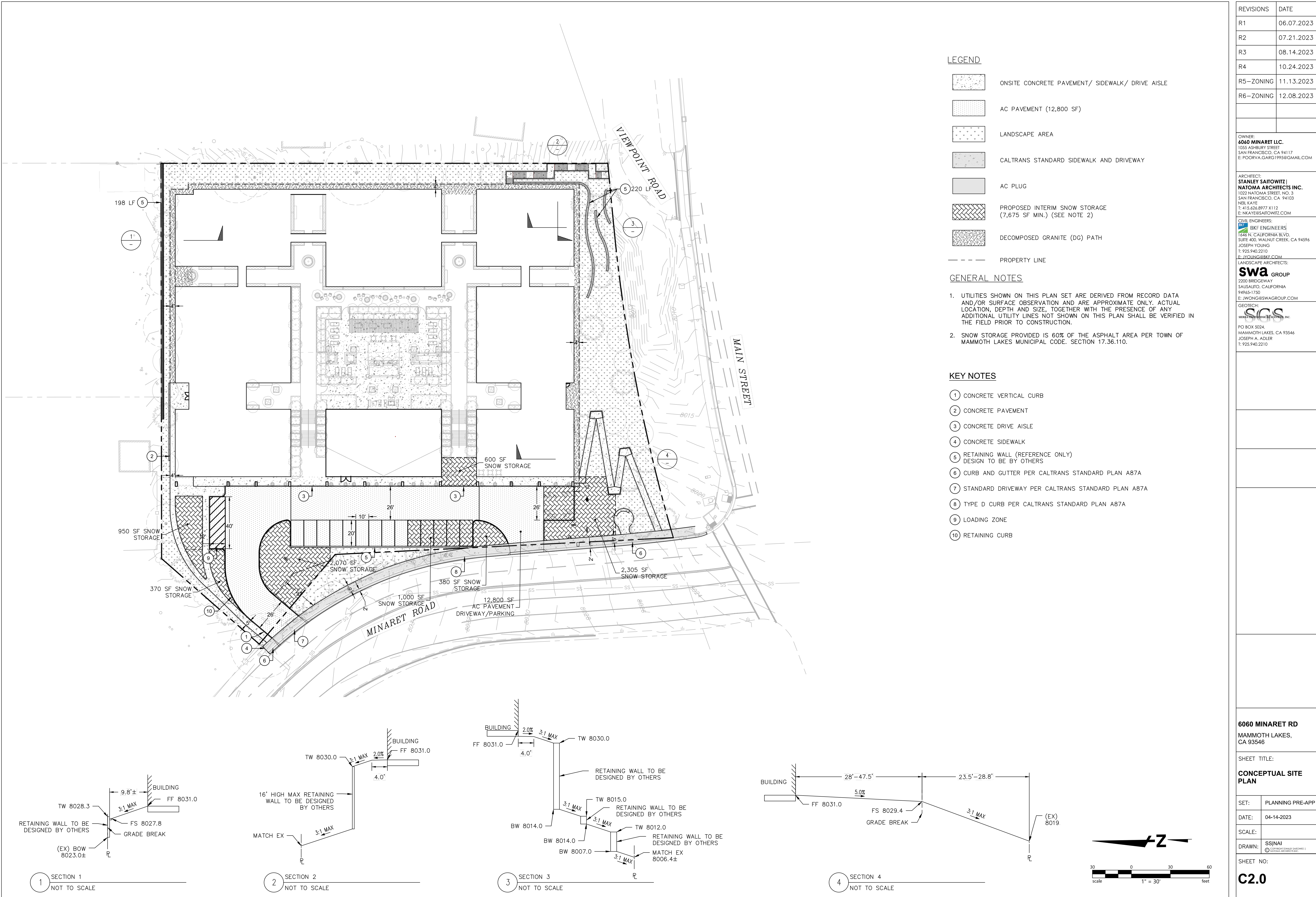
EXISTING NOTES

- THE BOUNDARY AND EASEMENT INFORMATION SHOWN ON THE PLANS WAS PROVIDED TO BKF BY THE OWNER AND PREPARED BY TRIAD/HOLMES ASSOCIATE (THA), DATED JUNE 5, 2018. BKF TAKES NO CLAIM AS TO THE ACCURACY OF THIS DATA AND IS NOT RESPONSIBLE FOR ANY ERRORS OR OMISSIONS.
- AREA: 2.60 ACRES
APN: 033-043-001, 033-043-002, 033-043-003
ADDRESS: 6042, 6040 AND 6060 MINARET ROAD MAMMOTH LAKES, CA
OWNER: 6060 MINARET LLC.
- THE PROPERTIES AS DESCRIBED IN GRANT DEED RECORDED AS INSTRUMENT NUMBERS 2002-005013 AND 2002-005014 IN THE OFFICE OF THE COUNTY RECORDER, MONO COUNTY, CALIFORNIA.
(R)= RECORD INFORMATION PER RECORD OF SURVEY NO. 36-153, RSMB 4/28.
(M)= MEASURED INFORMATION PER FIELD SURVEY APRIL 2018 BY TRIAD/ HOLMES ASSOC.
- ALL DISTANCES AND DIMENSIONS ARE IN FEET AND DECIMALS THEREOF.
- THE UTILITIES SHOWN ON THIS PLAN ARE DERIVED FROM SURFACE OBSERVATIONS AND RECORD DATA ARE APPROXIMATE ONLY. NO WARRANTY IS IMPLIED AS TO THE ACTUAL LOCATION, SIZE OR PRESENCE OF ANY UTILITY SHOWN OR ANY ADDITIONAL UTILITY LINES NOT SHOWN ON THIS PLAN.

EXISTING ABBREVIATIONS

- | | |
|------|------------------|
| AC | ASPHALT CONCRETE |
| BLDG | BUILDING |
| BW | BACK OF WALK |
| CC | CONCRETE |
| CL | CENTERLINE |
| CO | CLEANOUT |
| DI | DRAIN INLET |
| E | ELECTRICAL |
| EL | ELEVATION |
| ES | EXISTING SURFACE |
| FL | FLOWLINE |
| FS | FINISHED SURFACE |
| G | GAS |
| GB | GRADE BREAK |
| GD | GRADE |
| GV | GAS VALVE |
| INV | INVERT |
| MH | MANHOLE |
| OH | OVERHEAD LINES |
| SD | STORM DRAIN |
| SL | STREET LIGHT |
| SS | SANITARY SEWER |
| T | TELEPHONE |
| TC | TOP OF CURB |
| TOW | TOP OF WALL |
| TYP | TYPICAL |
| W | WATER |
| WM | WATER METER |
| WV | WATER VALVE |

REVISIONS	DATE
R1	06.07.2023
R2	07.21.2023
R3	08.14.2023
R4	10.24.2023
R5-ZONING	11.13.2023
R6-ZONING	12.08.2023
OWNER: 6060 MINARET LLC. 1065 ASHBURY STREET SAN FRANCISCO, CA 94117 E: POORVA.GARGI995@GMAIL.COM	
ARCHITECT: STANLEY SAIOWITZ NATOMA ARCHITECTS INC. 1022 NATOMA STREET, NO. 3 SAN FRANCISCO, CA 94103 NEIL KAYE T: 415.626.8977 X112 E: NKA@STANLEYSAIOWITZ.COM	
CIVIL ENGINEERS: BKF ENGINEERS 1646 N. CALIFORNIA BLVD. SUITE 400, WALNUT CREEK, CA 94596 JOSEPH YOUNG T: 925.940.2210 E: JYOUNG@BKF.COM	
LANDSCAPE ARCHITECTS: swa GROUP 2200 BRIDGEMAN SAUSALITO, CALIFORNIA 94965-1750 E: JWONG@SWAGROUP.COM	
GEOTECH: SCS PO BOX 5024 MAMMOTH LAKES, CA 93546 JOSEPH A. ADLER T: 925.940.2210	
6060 MINARET RD MAMMOTH LAKES, CA 93546	
SHEET TITLE: EXISTING CONDITIONS PLAN	
SET:	PLANNING PRE-APP
DATE:	04-14-2023
SCALE:	
DRAWN:	SS/NAI
SHEET NO: C1.0	



REVISIONS	DATE
R1	06.07.2023
R2	07.21.2023
R3	08.14.2023
R4	10.24.2023
R5-ZONING	11.13.2023
R6-ZONING	12.08.2023

OWNER:
6060 MINARET LLC.
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E: POORVA.GARGI995@GMAIL.COM

ARCHITECT:
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6060 MINARET RD
MAMMOTH LAKES,
CA 93546

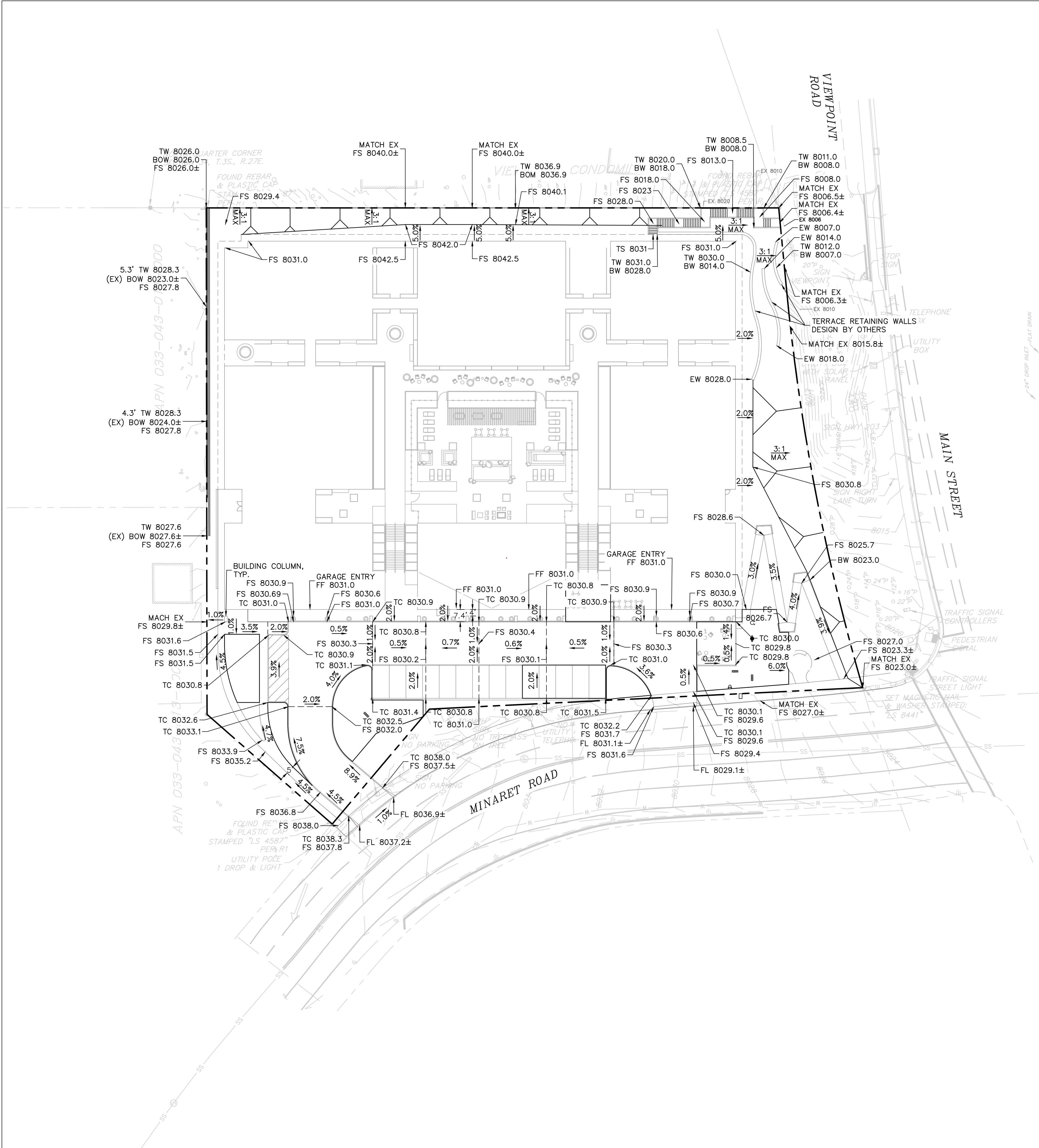
SHEET TITLE:

CONCEPTUAL SITE PLAN

SET:	PLANNING PRE-APP
DATE:	04-14-2023
SCALE:	
DRAWN:	SS/NAI

SHEET NO:

C2.0



NOTES

1. THE UTILITIES SHOWN ON THIS PLAN AREA DERIVED FROM RECORD DATA AND/OR SURFACE OBSERVATION AND ARE APPROXIMATE ONLY. ACTUAL LOCATION AND SIZE, TOGETHER WITH THE PRESENCE OF ANY ADDITIONAL UTILITY LINES NOT SHOWN ON THIS PLAN SHALL BE VERIFIED BY THE CONTRACTOR IN THE FIELD PRIOR TO CONSTRUCTION.
2. ALL EXISTING UNDERGROUND IN THE PUBLIC RIGHT OF WAY SHALL BE PROTECTED UNLESS OTHERWISE NOTED.
3. ALL EXISTING UTILITY BOXES, STRUCTURES, MANHOLES AND VALVES WITHIN THE LIMIT OF WORK SHALL BE ADJUSTED TO FINAL GRADE UNLESS OTHERWISE NOTED.
4. GRADING OPERATIONS WILL OCCUR OVER EXISTING UTILITIES. CONTRACTOR SHALL EXEROISE THE NECESSARY CARE TO ENSURE EXISTING UTILITIES ARE NOT DAMAGED OR EXPERIENCE ANY INTERRUPTION IN SERVICE. ANY UTILITIES DAMAGED DUE TO THE CONTRACTOR'S ACTIVITIES SHALL BE REPAIRED TO ORIGINAL CONDITION AT THE EXPENSE OF THE CONTRACTOR.
5. ORDER OF WORK WITHIN THE PUBLIC RIGHT OF WAY SHALL BE PHASED SUCH THAT CLOSURE OF PUBLIC FACILITIES ARE MINIMIZED.
6. CONTRACTOR SHALL VERIFY EXACT LOCATION AND ELEVATION OF ALL UNDERGROUND UTILITIES PRIOR TO COMMENCEMENT OF WORK.
7. CONTRACTOR TO POTHOLE AND FIELD VERIFY ALL UTILITY CROSSINGS.
8. CONTRACTOR TO CONTACT USA AT (800)247-2600 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION. UTILITY REMOVAL OR EXCAVATION.

EARTHWORK NOTES

1. THE EARTHWORK TABLE HAS PREPARED FOR THE PURPOSE OF DETERMINING THE ROUGH ORDER OF MAGNITUDE FOR PRELIMINARY COST AND CONCEPTUAL DESIGN. THIS DOES NOT REFLECT THE FINAL DESIGN. ALL ASSUMPTIONS ARE PRELIMINARY AND SUBJECT TO ALTERATION UNTIL FINAL PERMIT AND APPROVAL.
2. DEPTH OF FOUNDATION AND ASPHALT WERE BASED ON GEOTECHNICAL REPORT PREPARED BY SIERRA GEOTECHNICAL SERVICES, INC. DATED AUGUST 15, 2018. EXTERIOR BUILDING FOUNDATION DEPTH OF 18", INTERIOR BUILDING FOUNDATION OF 12". AND ASPHALT-CONCRETE THICKNESS OF 4" WITH AGGREGATE BASE OF 6" FOR TRAFFIC INDEX 7.
3. CONCRETE DRIVE AISLE AND SIDEWALK DEPTH ASSUMED TO BE 4" THICK WITH 6" BASE COURSE.

CUT / FILL SUMMARY

CUT (CY)	FILL (CY)	NET FILL (CY)
7,136	10,520	3,384

ABBREVIATIONS

CY	CUBIC YARD
EW	EDGE OF WALL
EX	EXISTING
FF	FINISH FLOOR
FL	FLOW LINE
FS	FINISH SURFACE
TC	TOP OF CURB
TW	TOP OF WALL

REVISIONS	DATE
R1	06.07.2023
R2	07.21.2023
R3	08.14.2023
R4	10.24.2023
R5-ZONING	11.13.2023
R6-ZONING	12.08.2023

OWNER:
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LANDSCAPE ARCHITECTS:
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E: JWONG@SWAGROUP.COM

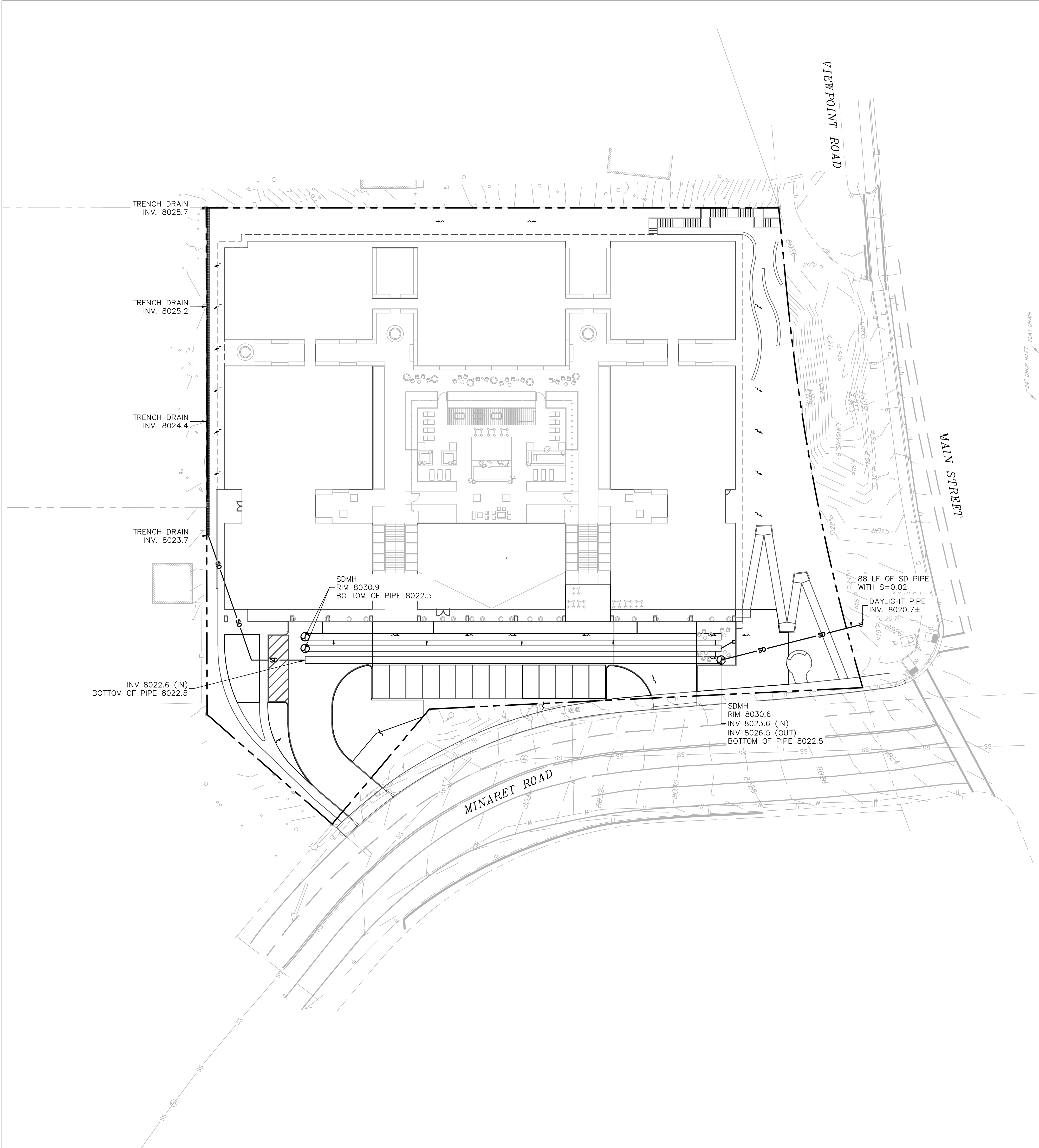
GEOTECH:
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JOSEPH A. ADLER
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6060 MINARET RD
MAMMOTH LAKES,
CA 93546

SHEET TITLE:
**CONCEPTUAL SITE
GRADING PLAN**

SET:	PLANNING PRE-APP
DATE:	04-14-2023
SCALE:	
DRAWN:	SS/NAI STANLEY SAIOWITZ NATOMA ARCHITECTS INC.

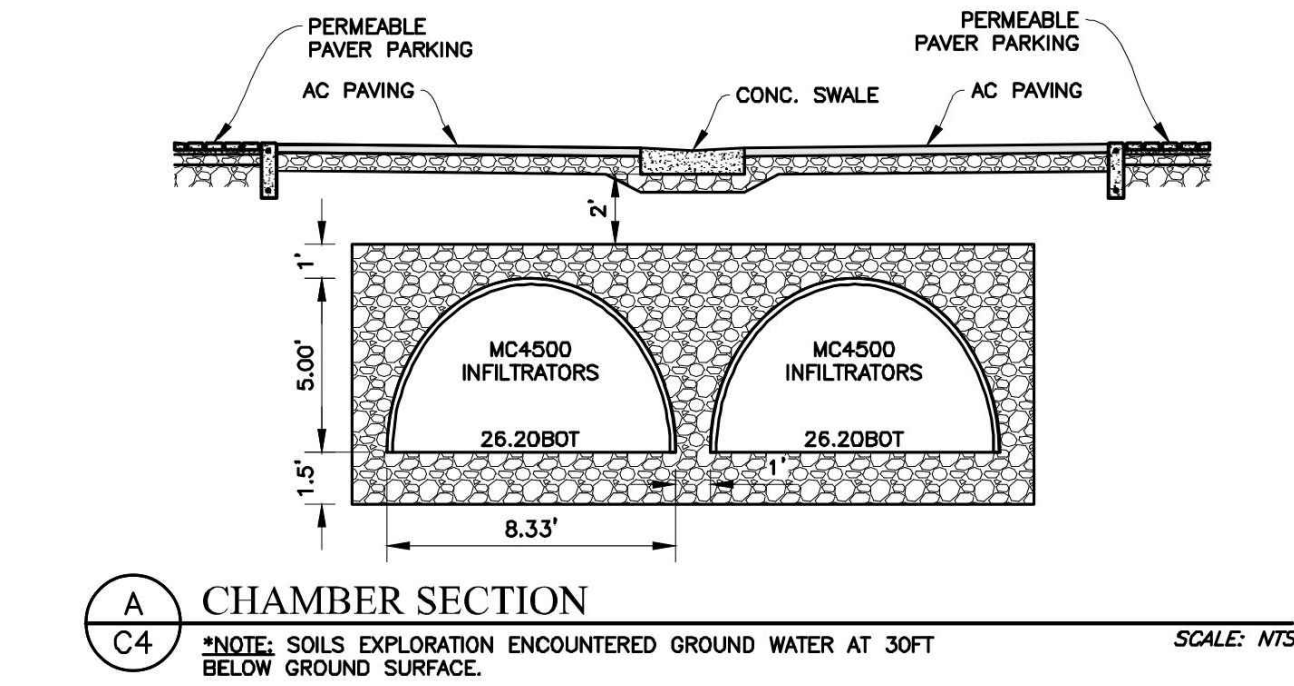
SHEET NO:
C3.0



LEGEND
PROPOSED

- STORM DRAIN INLET
- UNDERGROUND CHAMBER
- SD — STORM DRAIN LINE
- ▨ DURA SLOPE TRENCH DRAIN – PRE SLOPED
- FLOW ARROW

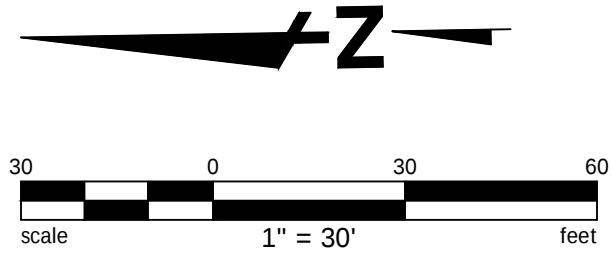
- NOTES**
- PER. TOWN OF MAMMOTH LAKES STORMWATER MASTER PLAN 2015 THERE IS NO NPDES MS4 PERMIT REQUIRED DUE TO A POPULATION OF LESS THAN 10,000 RESIDENTS.
 - PER THE MAMMOTH STORM DRAIN MASTER PLAN THE TOWN ENTERED A MEMORANDUM OF UNDERSTANDING WITH THE LOHANTAN REGIONAL WATER QUALITY CONTROL BOARD, THE MEMO REQUIRES ALL NEW DEVELOPMENTS MUST RETAIN ON-SITE RUNOFF PRODUCED FROM A 1-HOUR 20-YEAR STORM EVENT.
 - RETENTION SYSTEM SHOWN IS SIZED TO RETAIN VOLUME OF STORM RUNOFF PER NOTE 2 ABOVE, WITH OVERFLOWS RELEASED TO THE EXISTING SLOPE THAT DRAINS TO THE TOWN STORM SYSTEM TO THE SOUTH OF THE 6060 MINARET PROPERTY.
 - DESIGN RAINFALL DEPTH FOR THE 20 YEAR FREQUENCY EVENT IS 0.94 INCHES PER THE 1984 MAMMOTH LAKES STORM DRAINAGE DESIGN MANUAL (FIGURE 1-4).



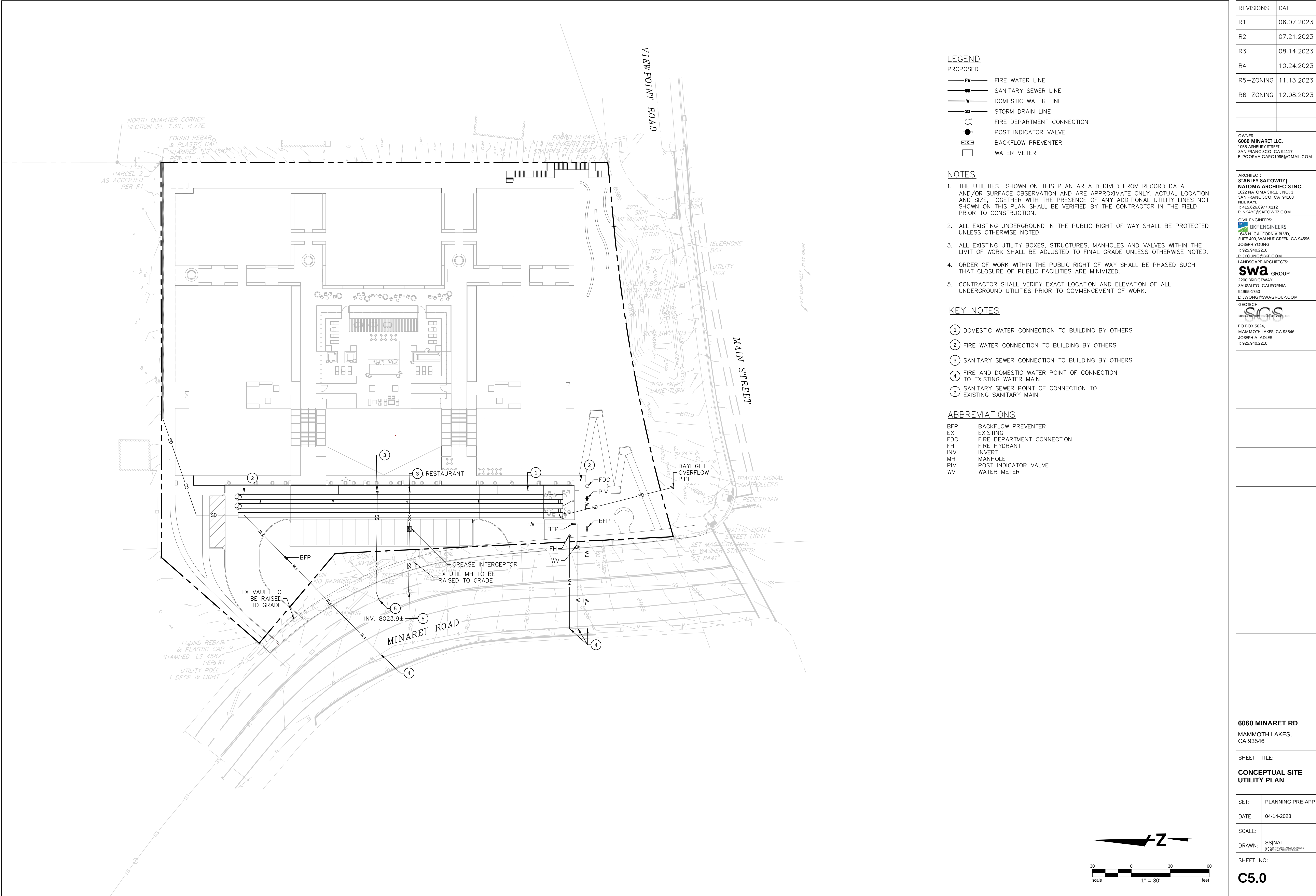
- SECTION NOTE**
- EXAMPLE CHAMBER SECTION SHOWN ABOVE IS NOT FINAL AND MAY BE REPLACED WITH AN APPROVED EQUIVALENT THAT HOLDS THE REQUIRED RETENTION VOLUME PER NOTES 1-4 ABOVE.

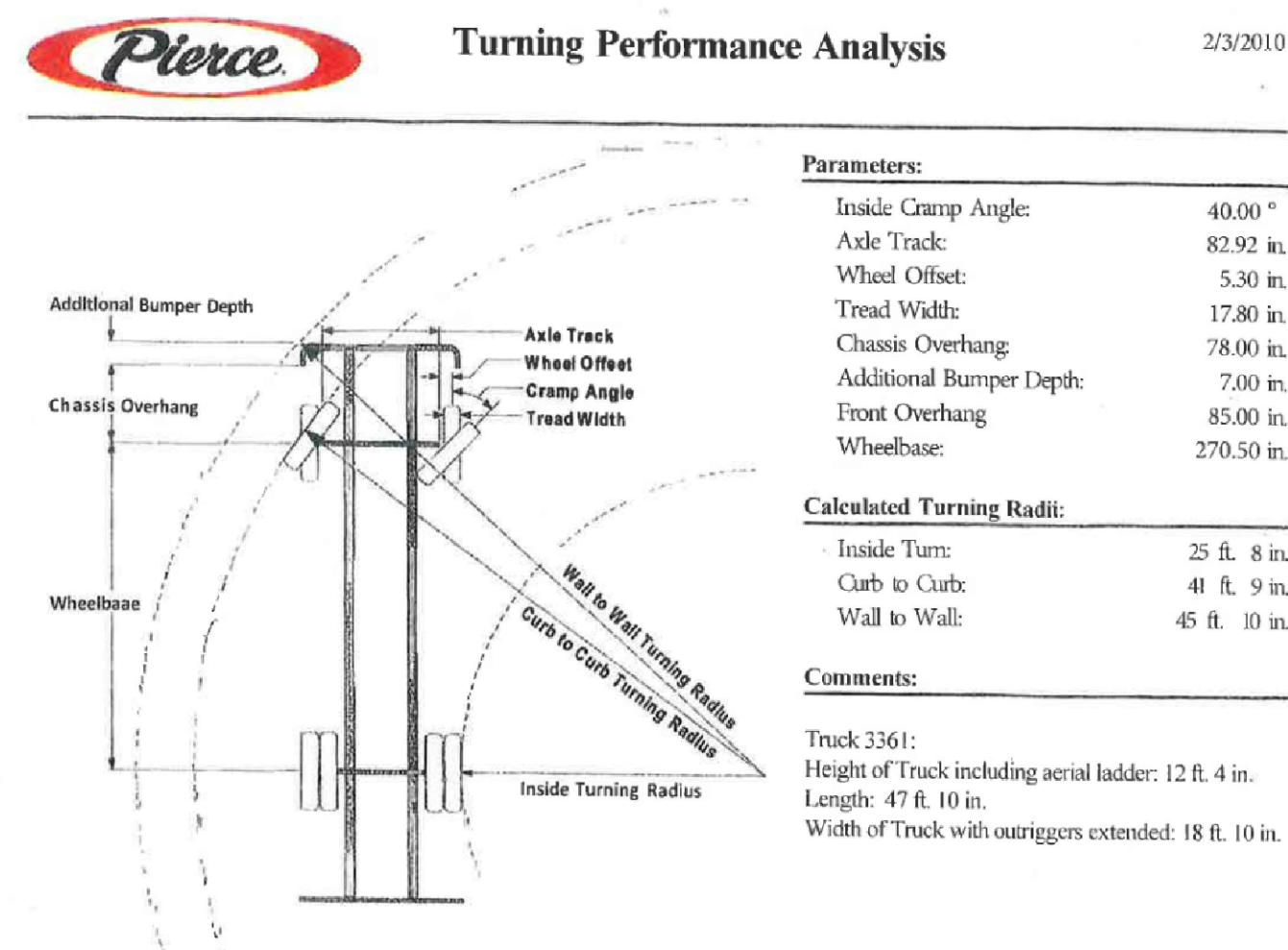
ABBREVIATIONS

INV INVERT
S SLOPE
SDMH STORM DRAIN MANHOLE

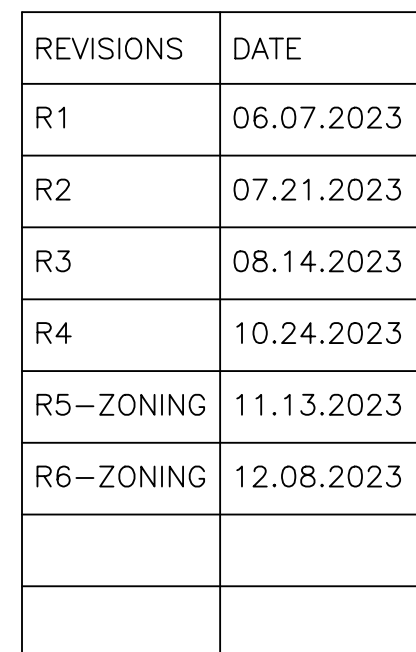


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R5-ZONING	11.13.2023
R6-ZONING	12.08.2023
OWNER: 6060 MINARET LLC. 1065 ASHBURY STREET SAN FRANCISCO, CA 94117 E: POORVA.GARGI995@GMAIL.COM ARCHITECT: STANLEY SAIOTOWITZ NATOMA ARCHITECTS INC. 1022 NATOMA STREET, NO. 3 SAN FRANCISCO, CA 94103 NEIL KAYE T: 415.626.8977 X112 E: NKAYE@SAIOTOWITZ.COM CIVIL ENGINEERS: BKF ENGINEERS 1646 N. CALIFORNIA BLVD. SUITE 400, WALNUT CREEK, CA 94596 JOSEPH YOUNG T: 925.940.2210 E: JYOUNG@BKF.COM LANDSCAPE ARCHITECTS: swa GROUP 2200 BRIDGEMAN SAUSALITO, CALIFORNIA 94965-1750 E: JWONG@SWAGROUP.COM GEOTECH: SCS PO BOX 5024 MAMMOTH LAKES, CA 93546 JOSEPH A. ADLER T: 925.940.2210	
6060 MINARET RD MAMMOTH LAKES, CA 93546	
SHEET TITLE: CONCEPTUAL SITE DRAINAGE PLAN	
SET:	PLANNING PRE-APP
DATE:	04-14-2023
SCALE:	
DRAWN:	SSJ/NAI DESIGNED BY: STANLEY SAIOTOWITZ © NATOMA ARCHITECTS INC.
SHEET NO: C4.0	





- GENERAL NOTES
1. ALL DIMENSIONS ARE TO FACE OF CURB/FACE OF BUILDING UNLESS OTHERWISE NOTED ON PLANS
 2. UTILITIES SHOWN ON THIS PLAN SET ARE DERIVED FROM RECORD DATA AND/OR SURFACE OBSERVATION AND ARE APPROXIMATE ONLY. ACTUAL LOCATION, DEPTH AND SIZE, TOGETHER WITH THE PRESENCE OF ANY ADDITIONAL UTILITY LINES NOT SHOWN ON THIS PLAN SHALL BE VERIFIED IN THE FIELD PRIOR TO CONSTRUCTION.



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GEOTECH:

SGS
SERRA CONSULTING & SERVICES, INC.

PO BOX 5024,
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SET:	PLANNING PRE-APP
DATE:	04-14-2023
SCALE:	
DRAWN:	SS NAI © COPYRIGHT STANLEY SADOWITZ NATOMA ARCHITECTS INC.
SHEET NO:	

C6.0